



14 Stillington Oaks, Easingwold, York YO61 3GP

Stephensons

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Est. 1871

An impressive 1 bedroom 1st floor retirement apartment located within McCarthy & Stone's luxuriously appointed Stillington Oaks which was built in 2016 for the discerning over 60's buyer seeking independent living without compromising on quality and style.

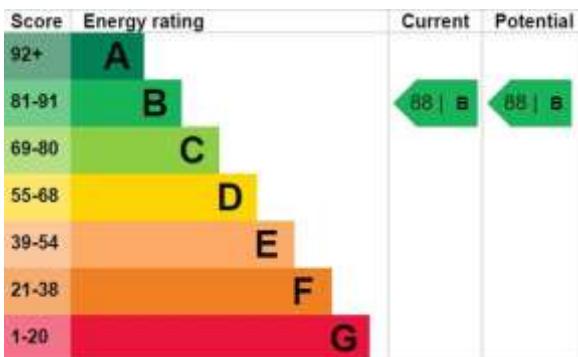
Hambleton District Council -Tax Band C

Viewings via Easingwold Office 01347 821145



A private reception hall leads off into an impressive 19'2" long living room with Juliet balcony and views across the delightful communal gardens. The attractively appointed kitchen features a range of integrated appliances to include a ceramic hob with filter canopy above, fridge, freezer, fan assisted electric oven and a grill. Also off the reception hall is a useful utility room that provides excellent storage, additional appliance space and plumbing provisions for a washing machine. The generous 17'6" long double bedroom features a spacious walk-in wardrobe and is served by a stylishly appointed shower room with a larger than average walk-in shower. Other internal features of note underfloor heating, double glazing, emergency call cords and secure Entryphone access for visitors and guests. The luxurious communal areas within Stillington Oaks include lifts and stairs to all floors, a fabulous resident's lounge, guest suite, landscaped gardens, visitor parking and an option for an allocated parking space at a cost of £250 per year.





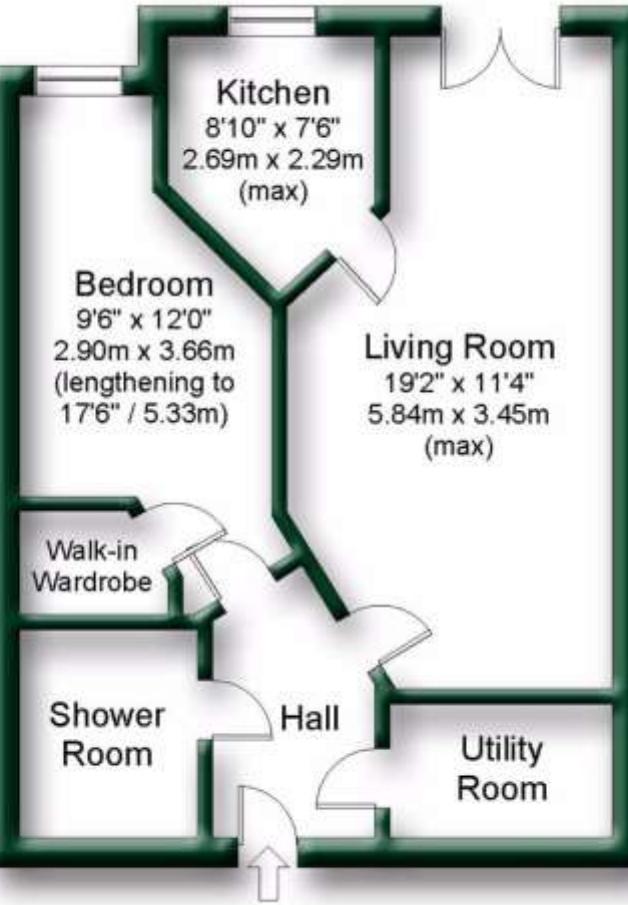
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Not to Scale.
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Agent's Note

Please note that the apartment is offered on long Leasehold basis and is subject to a monthly Service Charge of £174.25 which includes water rates, buildings insurance and the maintenance of all communal areas.

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